

DATE: May 2, 2018**FILE:** 3090-20 / DV 4A 18**TO:** Chair and Directors
Electoral Areas Services Committee**FROM:** Russell Dyson
Chief Administrative OfficerSupported by Russell Dyson
Chief Administrative Officer*R. Dyson***RE: Development Variance Permit
4324 & 4330 Island Highway South (Kingfisher Oceanside Resort & Spa Ltd.)
Lot B, District Lot 10, Nelson District, Plan VIP66171, PID 023-933-607**

Purpose

To report back on the Electoral Areas Services Committee's (EASC's) motion to defer a Development Variance Permit for an accessory building (i.e., storage shed).

Recommendation from the Chief Administrative Officer:

THAT the board approve Development Variance Permit DV 4A 18 (Kingfisher Oceanside Resort & Spa Ltd.774) on the property described as Lot B, District Lot 10, Nelson District, Plan VIP66171, PID 023-933-607 (4324 & 4330 Island Highway South) to reduce the minimum side yard (north) setback of the existing accessory building, labeled as "storage shed" on the permit, from 3.5 metres to 1.5 metres;

AND FINALLY THAT the Corporate Legislative Officer be authorized to execute the permit.

Executive Summary

- On April 9, 2018, the EASC considered a tourist commercial form and character development permit and development variance permit application (Appendix A) for the Kingfisher Oceanside Resort and Spa (Figures 1 and 2). The committee supported the development permit and the development variance permit for the south wing of the main resort building. The committee deferred the side yard setback of an existing accessory building to the following meeting (Figures 3 and 4).
- On April 16, 2018, Comox Valley Regional District (CVRD) staff visited the site to assess screening opportunities of the accessory building from the neighbour to the north.
- As there are mature trees and shrubs adjacent to the accessory building, the existing vegetation and accessory building provide a screening function (Figures 5 and 6). In addition, a fence would be difficult to install and maintain without negative impact on the existing mature conifers.
- Given these reasons, staff supports the issuance of the Development Variance Permit (Appendix B). As a reminder, this variance is limited to the existing accessory building. Changes to the envelope of the building would require another variance application.
- Another notice of the requested variance will be mailed to adjacent property owners within 100.0 metres of the subject property at least 10 days prior to the EASC meeting. The notice informs these property owners/tenants as to the purpose of the permit, the land that is the subject of the permit and that further information of the proposed permit is available at the CVRD office. It also provides the date and time of the EASC meeting where the permit will

be considered. Consultation with these property owners/tenants is through their written comments received prior to the EASC meeting or their attendance at the EASC meeting.

Prepared by:

Concurrence:

B. Chow

A. Mullaly

Brian Chow, MCIP, RPP
Rural Planner

Alana Mullaly, M.Pl., MCIP, RPP
Acting General Manager of Planning and
Development Services Branch

Attachments: Appendix A – “Staff report dated March 29, 2018 regarding Development Permit DP 7A 18 and Development Variance Permit DV 4A 18”
Appendix B – “Development Variance Permit DV 4A 18”

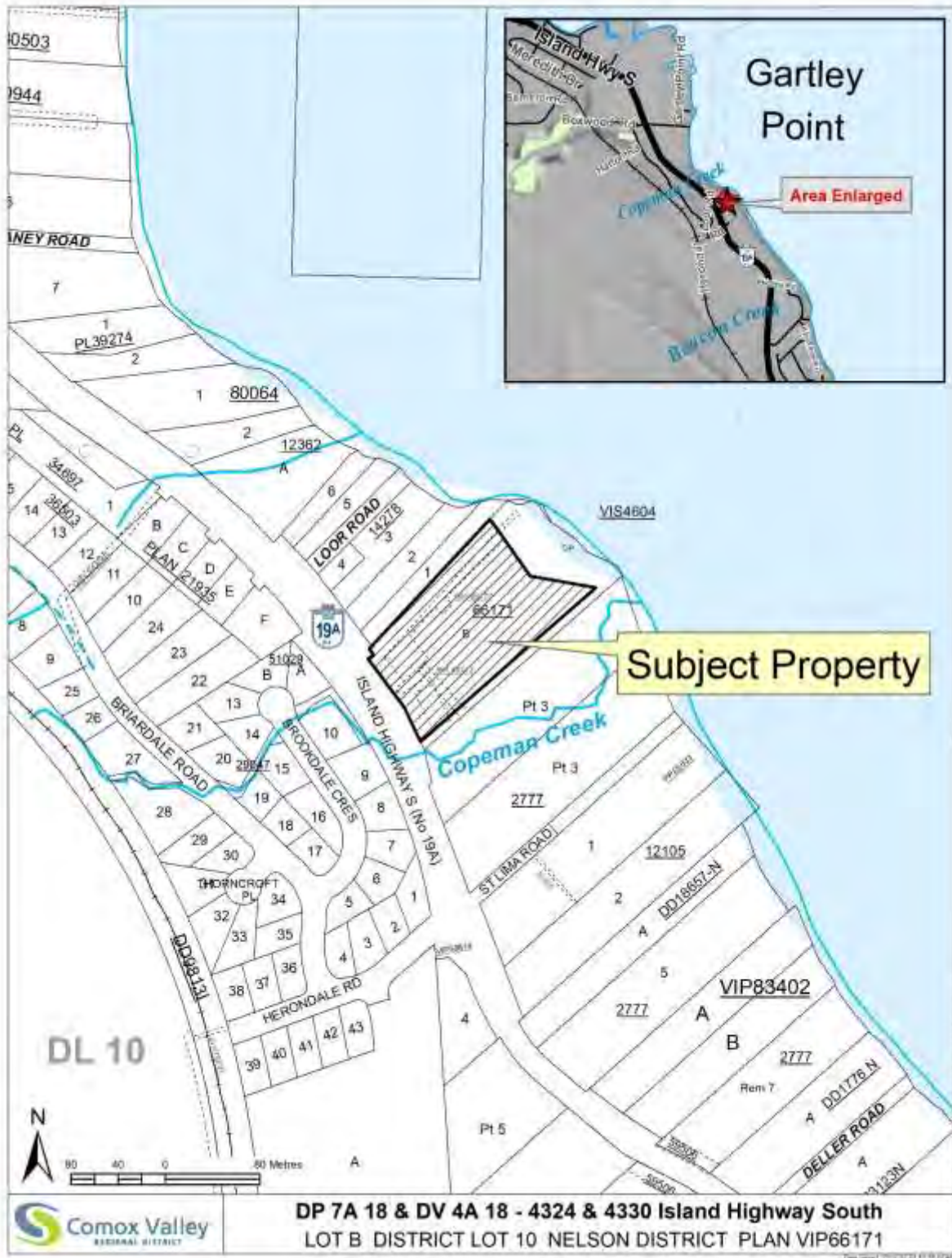


Figure 1: Subject Property Map



Figure 2: Air Photo

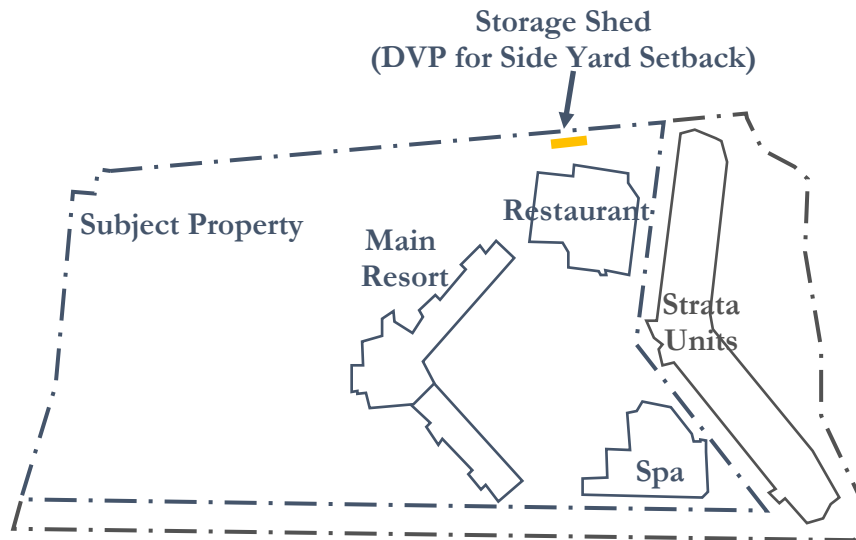


Figure 3: Site Plan to Show Location of the Accessory Building

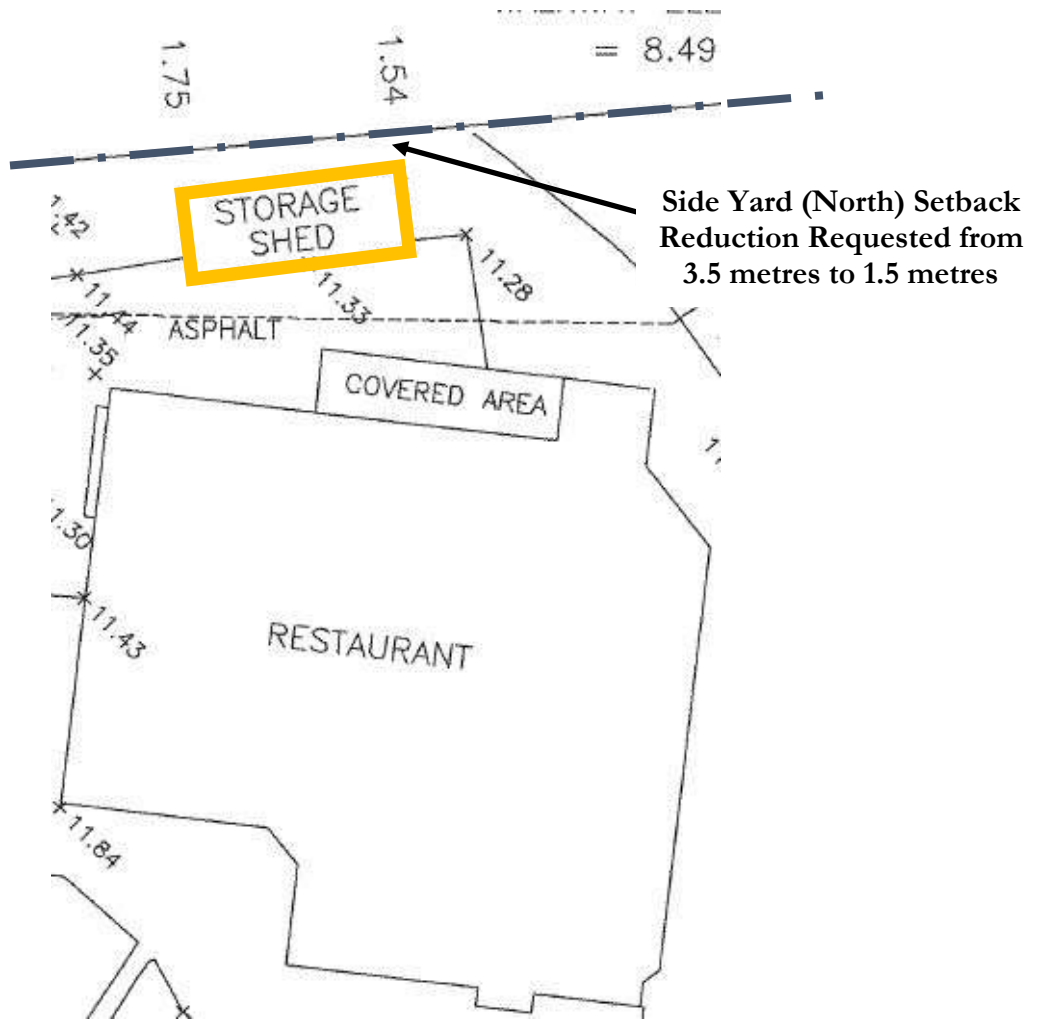


Figure 4: Side Yard (North) Setback Reduction Request for the Existing Storage Shed



Figure 5: Trees and Shrubs adjacent to the Accessory Building



Figure 6: Standing from the Ocean Side Looking back at the Trees and Shrubs between the Accessory Building and Neighbour’s Single Detached Dwelling



Staff report

DATE: March 29, 2018**FILES:** 3060-20 / DP 7A 18
3090-20 / DV 4A 18**TO:** Chair and Directors
Electoral Areas Services Committee**FROM:** Russell Dyson
Chief Administrative OfficerSupported by Russell Dyson
Chief Administrative Officer*R. Dyson***RE: Commercial and Industrial Development Permit, and Development Variance Permit
4324 & 4330 Island Highway South (Kingfisher Oceanside Resort & Spa Ltd.)
Lot B, District Lot 10, Nelson District, Plan VIP66171, PID 023-933-607****Purpose**

To consider a Commercial and Industrial Development Permit (DP) and a Development Variance Permit (DVP) for the renovation of the south wing of the resort building. In addition, to consider a DVP for an accessory building (i.e., storage shed).

Recommendations from the Chief Administrative Officer:

1. THAT the board approve the Development Permit DP 7A 18 (Kingfisher Oceanside Resort & Spa Ltd.) on the property described as Lot B, District Lot 10, Nelson District, Plan VIP66171, PID 023-933-607 (4324 & 4330 Island Highway South) for the renovation of the south wing of the resort building;

FURTHER THAT the board approve Development Variance Permit DV 4A 18 (Kingfisher Oceanside Resort & Spa Ltd.) on the property described as Lot B, District Lot 10, Nelson District, Plan VIP66171, PID 023-933-607 (4324 & 4330 Island Highway South) to vary the following:

- a. To reduce the minimum side yard setback of the south wing of the resort building from 3.5 metres to 0.3 metres;
- b. To reduce the minimum side yard setback of the eaves of the south wing of the resort building from 1.75 metres to 0.1 metres; and
- c. To increase the maximum building height of the south wing of the resort building at 0.3 metres side yard setback (excluding the eaves) from 8.0 metres to 9.3 metres;

AND FINALLY THAT the Corporate Legislative Officer be authorized to execute the permits.

2. THAT the board approve Development Variance Permit DV 4A 18 (Kingfisher Oceanside Resort & Spa Ltd.) on the property described as Lot B, District Lot 10, Nelson District, Plan VIP66171, PID 023-933-607 (4324 & 4330 Island Highway South) to reduce the minimum side yard (north) setback of the existing accessory building, labeled as “storage shed” on the permit, from 3.5 metres to 1.5 metres;

AND FINALLY THAT the Corporate Legislative Officer be authorized to execute the permit.

Executive Summary

- The side yard (south) setback area will intrude on the strata road, and is not expected to affect the adjacent property and owner to the south.

- The applicant wishes to make exterior design and finishing changes to the south wing of the resort building, which trigger the need for a commercial and industrial DP (Appendix A).
- The building upgrade is proposed to coordinate with the recently renovated restaurant on the property. The external changes include building envelope changes and trigger the need for a DVP (Appendix B).
- The building upgrade involves changes in the building envelope, and therefore, triggers the need for side yard (south) setback reductions and maximum building height provisions. Note that the creation of the strata tourist commercial waterfront lot created the reduced setback in 1997.
- There is an outstanding setback matter affecting an existing accessory building along the northerly lot line.
- As the renovation maintains the form and character of the existing resort and is consistent with the DP area guidelines, planning staff supports the issuance of the DP and the associated DVP.
- The reduced setback is supportable relative to the modest scale of the accessory building. Staff recommends support for the existing building. Changes to the size of the building would require a new variance application.

Prepared by:

B. Chow

 Brian Chow, MCIP, RPP
 Rural Planner

Concurrence:

A. Mullaly

 Alana Mullaly, M.Pl., MCIP, RPP
 Manager of Planning Services

Concurrence:

A. Mullaly (*Acting for*)

 Ann MacDonald, MCIP, RPP
 General Manager of Planning
 and Development Services
 Branch

Stakeholder Distribution (Upon Agenda Publication)

Applicant	✓
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Background/Current Situation

The subject property is located at 4324 & 4330 Island Highway South (Figures 1 and 2). It is the location of the Kingfisher Oceanside Resort and Spa. The applicant wishes to renovate the south wing of the resort building by making changes to the exterior design and finishing, which trigger the need for a commercial and industrial DP (Figures 3 to 7). The building upgrade is proposed to coordinate with the existing spa and recently renovated restaurant buildings by using stone and Hardie board siding. The south wing will have a new sloped roof, and the southern two external staircases will be covered. These external changes also trigger the need for siting and building height variances.

Official Community Plan Analysis

The Rural Comox Valley Official Community Plan (OCP), being the “Rural Comox Valley Official Community Plan Bylaw No. 337, 2014”, designates the subject property within Rural Settlement Areas. Section 44(1) permits existing commercial uses to continue. The OCP contains guidelines for the commercial and industrial development permit area (DPA), defined as all properties that are zoned commercial or industrial.

Commercial and Industrial Development Permit Area

Figures 4 to 7 show the external changes to the existing south wing. These changes maintain the existing resort form and character. Specifically, the renovated south wing will be architecturally coordinated with the restaurant building. No new building type is proposed for this renovation.

There is no blank end wall that faces the street (i.e., Old Island Highway) with this renovation, and the new slope pitch is not anticipated to obstruct direct sunlight onto adjacent residences.

No changes to current landscaping, outside storage, screening or parking are proposed for this permit. As there will not be any changes to the amount of impermeable surface, there will be no changes to the current rainwater management regime. Planning staff supports the issuance of the DP as it meets the DPA guidelines.

Zoning Bylaw Analysis

The subject property is zoned Tourist Commercial Two (TC-2). In this zone, there is a range of permitted maximum height for buildings based on the lot line setbacks (Section 904(5) of Bylaw No. 2781, being the “Comox Valley Zoning Bylaw, 2005”):

“The maximum permitted height of principal structures shall be:

- i) At required side yard setback: 8.0 metres (26.3 feet)*
- ii) At 7.5 metres (24.6 feet) from any lot line: 10.0 metres (32.8 feet)*
- iii) At 12.0 metres (39.7 feet) from any lot line: 12.0 metres (39.4 feet)”*

In addition, the minimum side yard setback for any principal or accessory building is 3.5 metres.

Development Variance Permit

The applicant proposes the following variances:

1. To reduce the minimum side yard setback of the south wing (i.e., principal building) from 3.5 metres to 0.3 metres;
2. To reduce the minimum side yard setback of the eaves of the south wing from 1.75 metres to 0.1 metres; and
3. To allow a maximum building height of the south wing of 9.3 metres at 0.3 metres side yard setback from the southerly side lot line.

Maximum height regulations are intended to set building massing and scale and to avoid blocking sunlight and views. The proposed increase in building height establishes the scale of this building to be the main building within the resort. The proposed height increase is not anticipated to block sunlight or affect the views of the adjacent Kingfisher strata tourist commercial property.

Minimum lot line setback regulations are intended to provide uniformity of building setbacks and sufficient separation between buildings. The requested lot line setbacks for the building does not affect the uniformity, and this building is adjacent to the panhandle portion of the Kingfisher strata tourist commercial property. This waterfront strata lot was created in 1997, and the siting of the south wing received variance approval in 1997 (file: DV 4A 97). The panhandle functions as access to the strata units. Therefore, planning staff supports the issuance of this DVP.

In addition, there is an outstanding setback matter affecting an accessory building, labeled as “storage shed” along the northerly lot line (Figure 8). The minimum lot line side yard setback is 3.5 metres, and it is located at 1.5 metres. This building was built without the benefit of a building permit. Obtaining a variance would be the first step in obtaining a building permit retroactively. The location of this building relative to the neighbour’s residence is buffered by trees and vegetation. The scale of the accessory building is not anticipated to unduly affect the use of the adjacent residential property. As such, planning staff is in support of this variance. This variance is limited to the existing accessory building. Changes to the envelope of the building would require another variance application.

Policy Analysis

Sections 488(1) and 490 of the *Local Government Act* (RSBC, 2015, c. 1) (LGA) allow a local government to designate DPAs and establish guidelines within the OCP for numerous purposes, including the establishment of objectives for the form and character of commercial and industrial development. Section 491(7) specifies that a DP relating to commercial form and character may include requirements respecting the character of the development, including landscaping, and the siting, form, exterior design and finish of buildings and other structures. Pursuant to Bylaw No. 337, development on a tourist commercial lot requires a DP for form and character control.

Section 498 of the LGA authorizes a local government to consider issuance of a DVP that varies the provision of a bylaw, provided that the use or density of the land is not being varied, the land is not designated floodplain, or the development is not part of a phased development agreement.

Options

1. Approve the issuance of the commercial and industrial DP and associated DVP for the renovation of the south wing of the resort building.
2. Approve the issuance of the DVP for the accessory building labeled as “storage shed”.
3. Deny issuance of this DP and associated DVP for the renovation of the south wing
4. Deny issuance of the DVP for the accessory building.

Based on the discussions in this staff report, planning staff supports options 1 and 2.

Financial Factors

Applicable fees have been collected for these two applications under the “Comox Valley Regional District Planning Procedures and Fees Bylaw No. 328, 2014.”

Legal Factors

The report and recommendations contained herein are in compliance with the LGA and the Comox Valley Regional District (CVRD) bylaws. DPs are permitted in certain circumstances under Sections 488, 489 and 491(7) of the LGA. DVPs are permitted in certain circumstances under Section 498 of the LGA.

Regional Growth Strategy Implications

Bylaw No. 120, being the “Comox Valley Regional District Regional Growth Strategy Bylaw No. 120, 2010”, designates the subject property within Rural Settlement Areas. The small scale of the proposed renovation is in keeping with the rural character of the neighbourhood, which is consistent with MG Policy 2A-1. Lastly, the proposal is consistent with Supporting Policy 3B-9, which is to encourage tourism with the Comox Valley.

Intergovernmental Factors

There are no intergovernmental factors.

Interdepartmental Involvement

The DP and DVP applications were referred to relevant internal departments. No concerns were identified. The outcome of the DVP application for the accessory building will determine next steps in the building permit process.

Citizen/Public Relations

The Advisory Planning Commission reviewed this application at their meeting on March 26, 2018. The Commission members supported the DP and DVP applications.

Notice of the requested variance will be mailed to adjacent property owners within 100.0 metres of the subject property at least 10 days prior to the Electoral Areas Services Committee (EASC) meeting. The notice informs these property owners/tenants as to the purpose of the permit, the land that is the subject of the permit and that further information of the proposed permit is available at the CVRD office. It also provides the date and time of the EASC meeting where the permit will be considered. Consultation with these property owners/tenants is through their written comments received prior to the EASC meeting or their attendance at the EASC meeting.

Attachments: Appendix A – “Development Permit DP 7A 18”

Appendix B – “Development Variance Permit DV 4A 18”

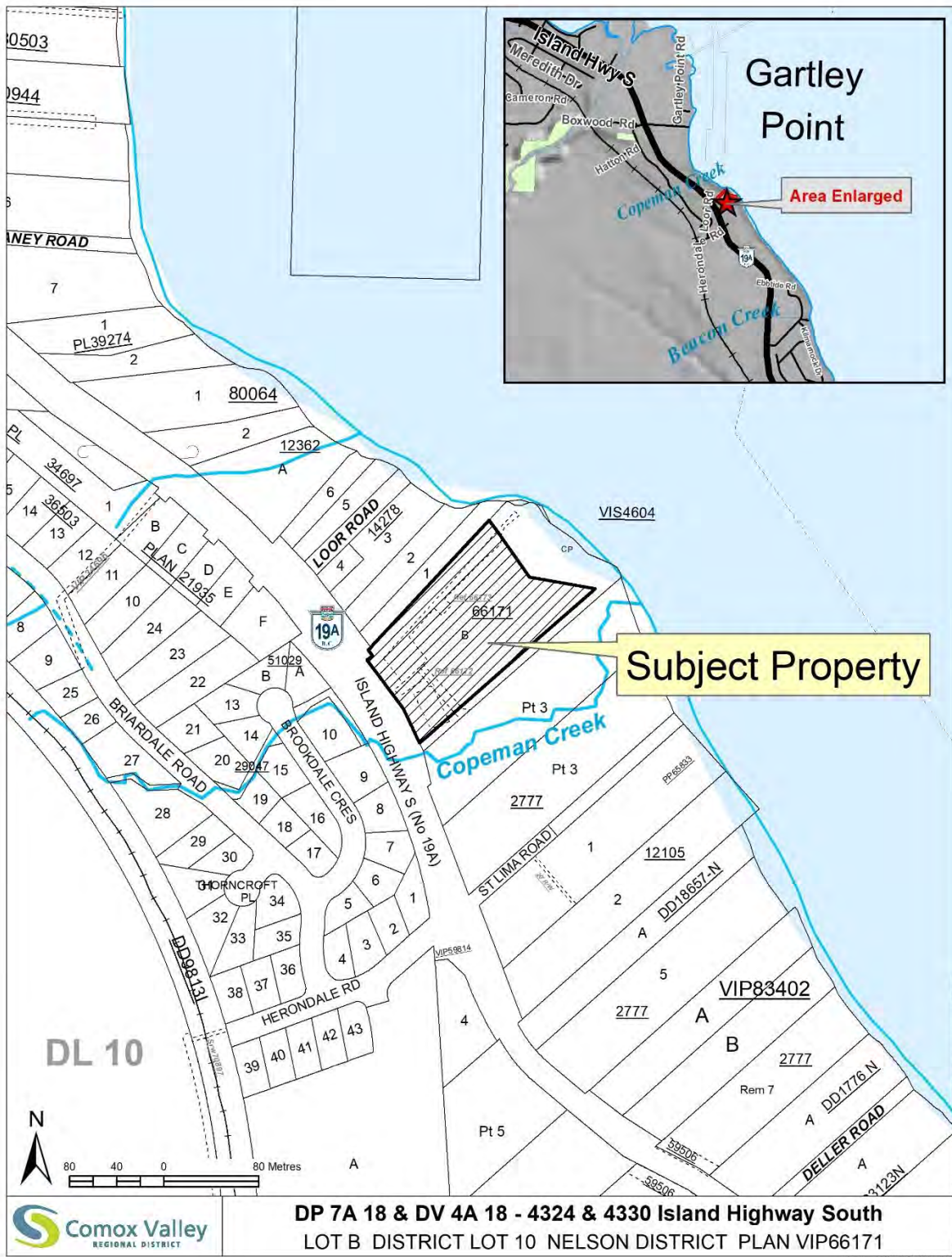


Figure 1: Subject Property Map



Figure 2: Air Photo

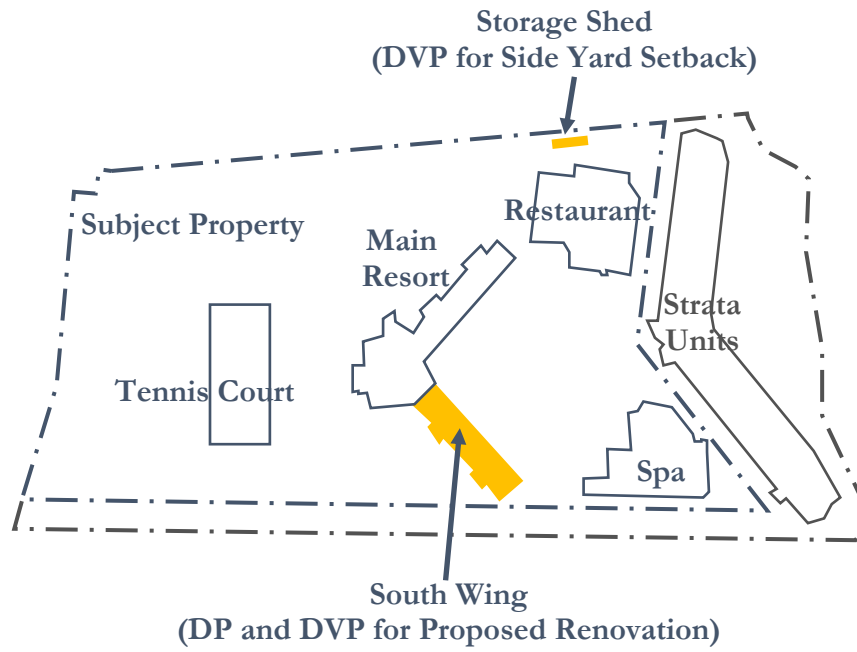


Figure 3: Site Plan to Show Locations of Subject Buildings

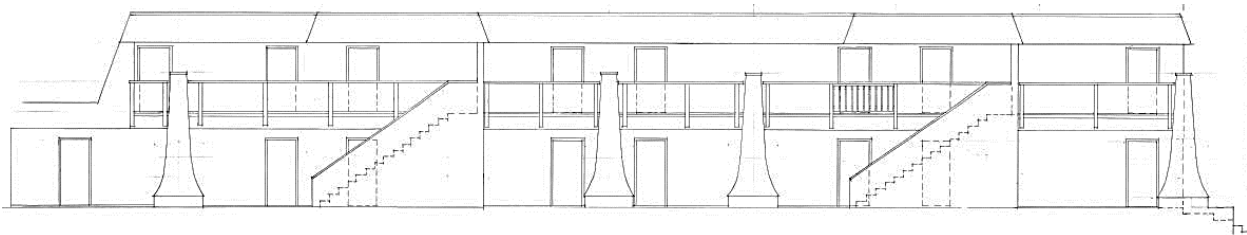


Figure 4: South Elevation Existing

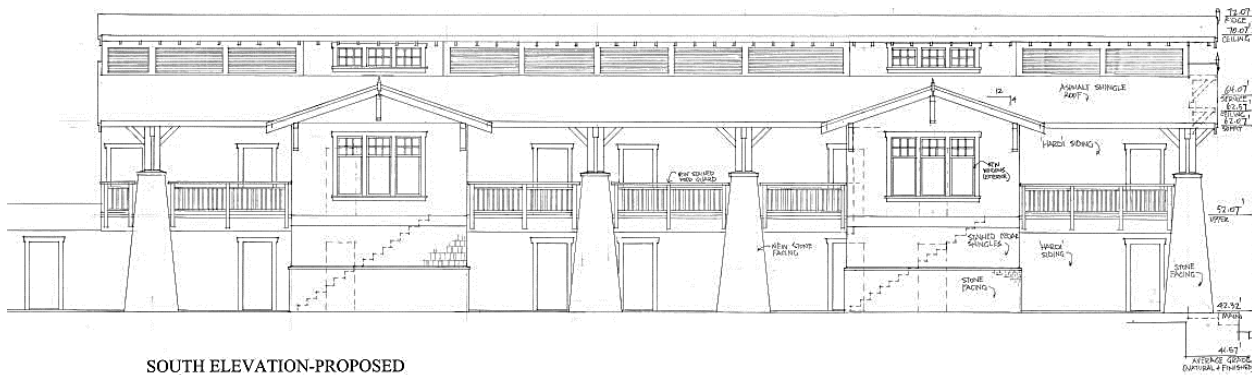


Figure 5: South Elevation Proposed

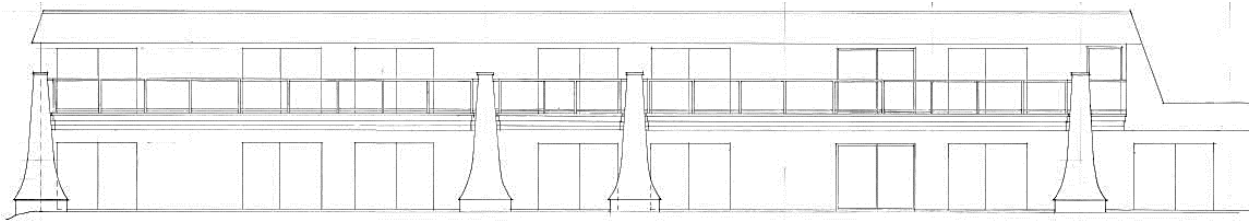


Figure 6: North Elevation Existing

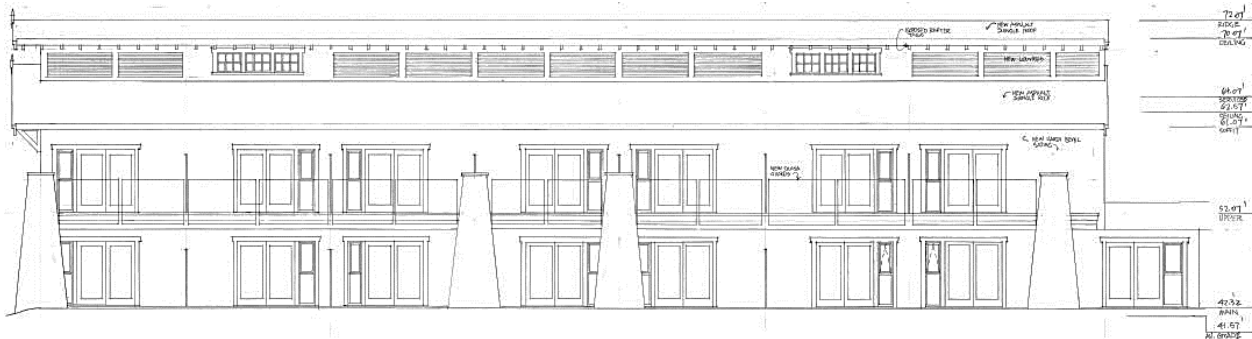


Figure 7: North Elevation Proposed

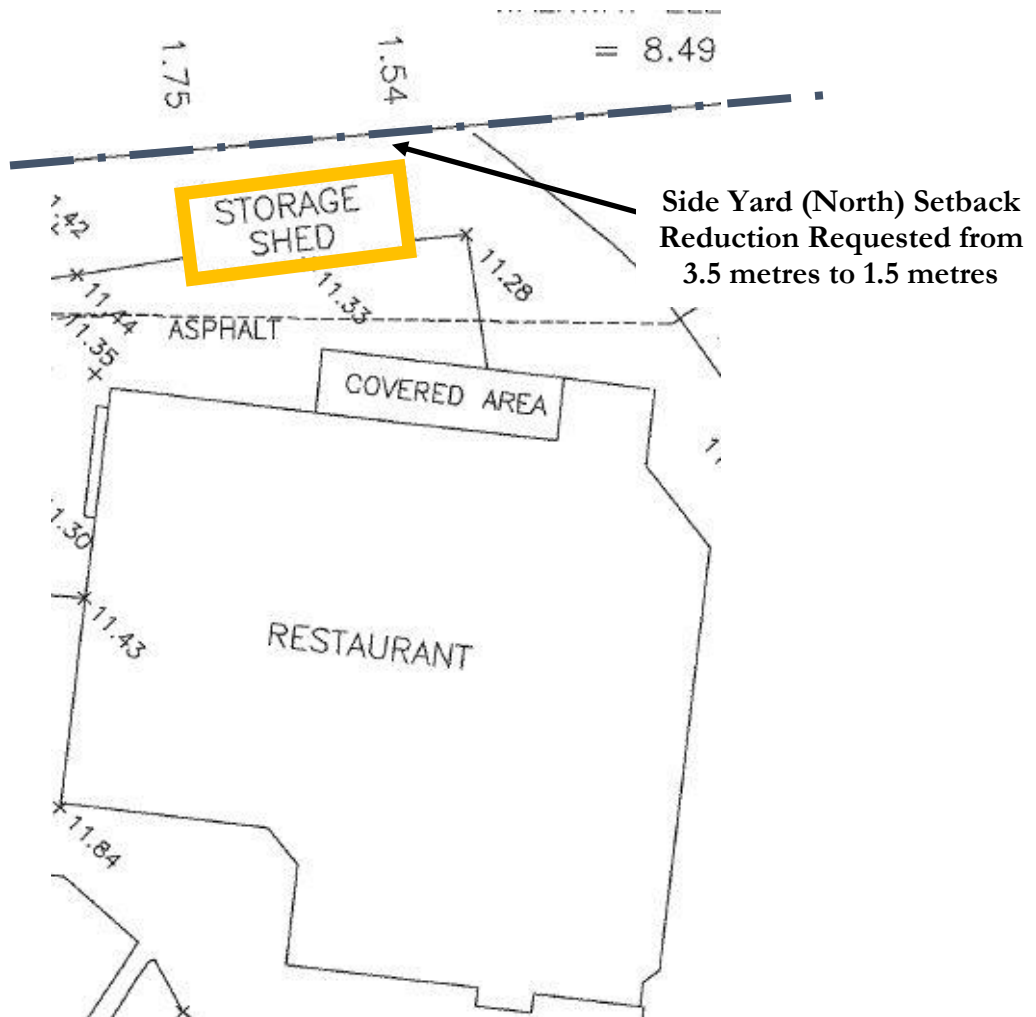


Figure 8: Side Yard (North) Setback Reduction Request for the Existing Storage Shed



Appendix A
Development Permit

DP 7A 18

TO: Kingfisher Oceanside Resort & Spa Ltd.

1. This Development Permit (DP 7A 18) is issued subject to compliance with all of the bylaws of the Comox Valley Regional District applicable thereto, except as specifically varied or supplemented by this permit for the **renovation of the south wing of the resort building as identified in Schedule A.**

2. This Development Permit applies to, and only to, those lands within the Comox Valley Regional District described below:

Legal Description: Lot B, District Lot 10, Nelson District, Plan VIP66171

Parcel Identifier (PID): 023-933-607 Folio: 771 09784.705

Civic Address: 4324 & 4330 Island Highway South

3. The land described herein shall be developed in accordance with the following terms and conditions and provisions of this permit:

Construction and Development Activities:

- i. THAT the renovation of the south wing of the resort building be made in accordance with the submitted site plan and architectural drawings hereto attached as Schedule A;
 - ii. THAT no construction material or debris be dumped on Island Highway South, during or after site development and that such material be disposed of offsite at an approved location.
4. This Development Permit is issued following the receipt of an appropriate site declaration from the Property Owner.
5. This Development Permit (DP 7A 18) shall lapse if construction is not substantially commenced within two (2) years of the Comox Valley Regional District Board's resolution regarding issuance of the development permit (see below). Lapsed permits cannot be renewed; however, a new application for a second development permit can be applied for in order to complete the remainder of the work.
6. This Development Permit is *not* a Building Permit.

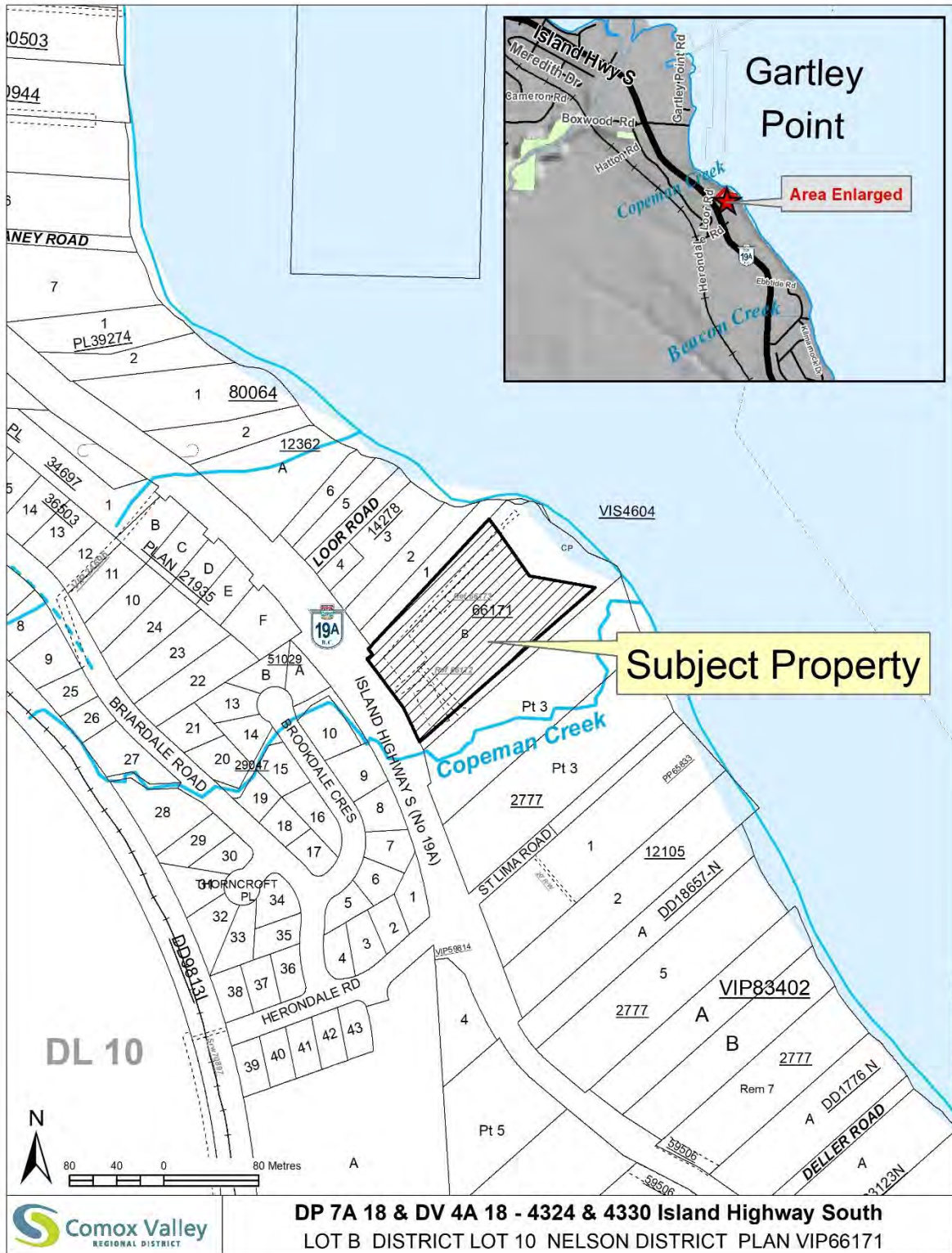
CERTIFIED as the **DEVELOPMENT PERMIT** issued by resolution of the board of the Comox Valley Regional District on _____.

James Warren
Corporate Legislative Officer

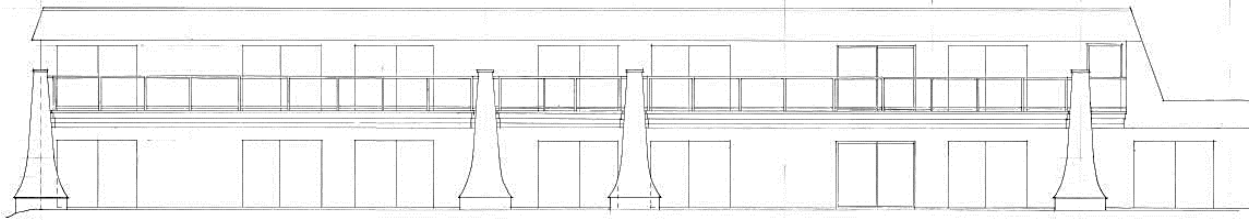
Certified on _____

Attachment: Schedule A – “Subject Property Map, Site Plan and Elevation Drawings”

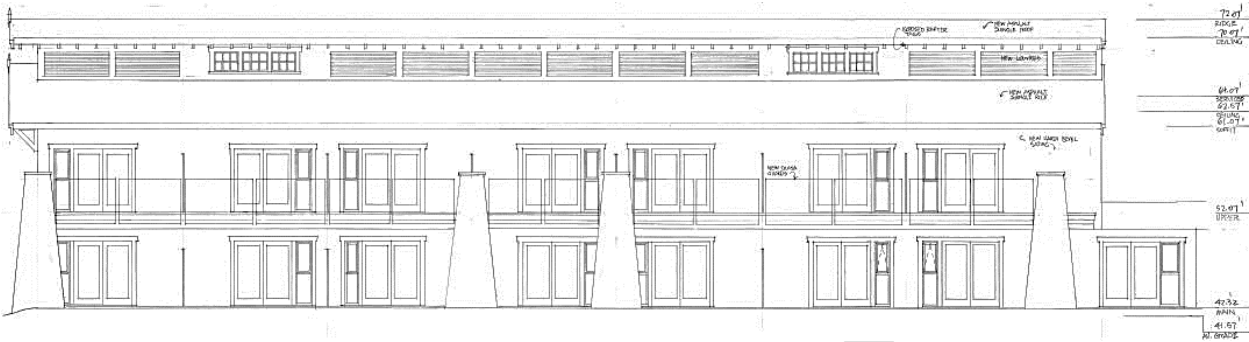
Schedule A



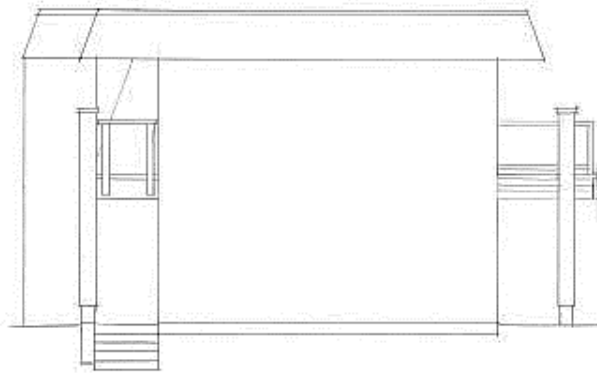
Subject Property Map



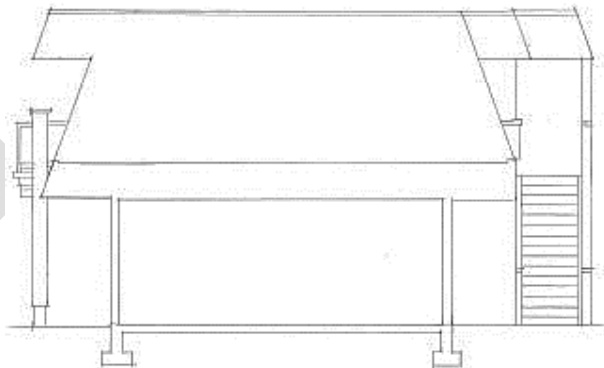
North Elevation Existing



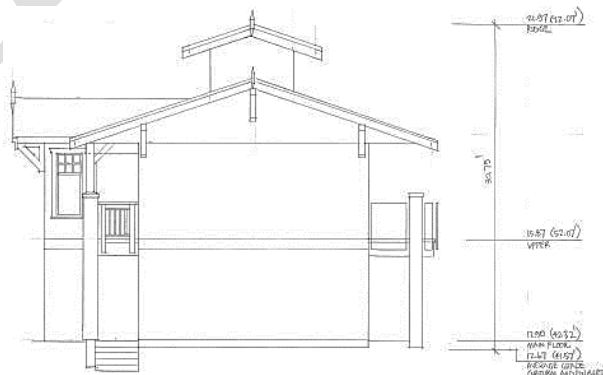
North Elevation Proposed



East Elevation Existing



West Elevation Existing



East Elevation Proposed / West Elevation (Reversed) Proposed

DV 4A 18

TO: Kingfisher Oceanside Resort & Spa Ltd.

1. This Development Variance Permit (DV 4A 18) is issued subject to compliance with all of the bylaws of the Comox Valley Regional District applicable thereto, except as specifically varied or supplemented by this permit.
2. This Development Variance Permit applies to and only to those lands within the Comox Valley Regional District described below:
Legal Description: Lot B, District Lot 10, Nelson District, Plan VIP66171
Parcel Identifier (PID): 023-933-607 Folio: 771 09784.705
Civic Address: 4324 & 4330 Island Highway South
3. The land described herein shall be developed strictly in accordance with the following terms and provisions of this permit:
 - i. THAT the development shall be carried out according to the plans and specifications attached hereto which form a part of this permit as the attached Schedules A and B;
 - ii. THAT all other buildings and structures must meet zoning requirements.
4. This Development Variance Permit is issued following the receipt of an appropriate site declaration from the property owner.
5. This Development Variance Permit (DV 4A 18) shall lapse if construction is not substantially commenced within two (2) years of the Comox Valley Regional District Board's resolution regarding issuance of the Development Variance Permit (see below). Lapsed permits cannot be renewed; therefore application for a new development permit must be made, and permit granted by the Comox Valley Regional District Board, in order to proceed.
6. This Development Variance Permit is *not* a Building Permit.

CERTIFIED as the **DEVELOPMENT VARIANCE PERMIT** issued by resolution of the board of the Comox Valley Regional District on _____..

James Warren
Corporate Legislative Officer

Certified on _____

Attachments: Schedule A – “Terms and Conditions of the DV 4A 18”
Schedule B – “Site Plans”

Schedule A

File: DV 4A 18

Applicant: Kingfisher Oceanside Resort & Spa Ltd.

Legal Description: Lot B, District Lot 10, Nelson District, Plan VIP66171

Specifications:

South Wing of the Resort Building

1. THAT WHEREAS pursuant to Section 403(2) of Bylaw No. 2781, being the “Comox Valley Zoning Bylaw, 2005,” the minimum lot line setback for eaves may be reduced by not more than 50 per cent of the minimum lot line setback up to a maximum of 2.0 metres,

AND WHEREAS the applicant, Kingfisher Oceanside Resort & Spa Ltd., wishes to reduce the minimum side yard setback of the eaves of the south wing from 1.75 metres to 0.1 metres;

2. THAT WHEREAS pursuant to Section 904(4) of Bylaw No. 2781, being the “Comox Valley Zoning Bylaw, 2005,” the minimum side yard setback for a principal building is 3.5 metres,

AND WHEREAS the applicant, Kingfisher Oceanside Resort & Spa Ltd., wishes to reduce the minimum side yard setback of the south wing of the resort building from 3.5 metres to 0.3 metres;

3. THAT WHEREAS pursuant to Section 904(5) of Bylaw No. 2781, being the “Comox Valley Zoning Bylaw, 2005,”

The maximum permitted height of principal structures shall be:

- i) At required side yard setback: 8.0 metres (26.3 feet)
- ii) At 7.5 metres (24.6 feet) from any lot line: 10.0 metres (32.8 feet)
- iii) At 12.0 metres (39.7 feet) from any lot line: 12.0 metres (39.4 feet)

AND WHEREAS the applicant, Kingfisher Oceanside Resort & Spa Ltd., wishes to increase the maximum building height of the south wing of the resort building at 0.3 metres side yard setback (excluding the eaves) from 8.0 metres to 9.3 metres;

Accessory Building

4. THAT WHEREAS pursuant to Section 904(4) of Bylaw No. 2781, being the “Comox Valley Zoning Bylaw, 2005,” the minimum side yard setback of the accessory building labeled as “storage shed” is 3.5 metres,

AND WHEREAS the applicant, Kingfisher Oceanside Resort & Spa Ltd., wishes to reduce the minimum (northerly) side yard setback of the accessory building, labeled as “storage shed,” from 3.5 metres to 1.5 metres only for the lifespan of this building (i.e., this variance does not apply to any other similar building in the future);

THEREFORE BY A RESOLUTION of the board of the Comox Valley Regional District on _____ the provisions of Bylaw No. 2781, being the “Comox Valley Zoning Bylaw, 2005,” as they apply to the above-noted property are to be varied as follows:

South Wing of the Resort Building

1. 403(2) The minimum side yard setback of the eaves of the south wing of the resort building is 0.1 metres;
2. 904(4) The minimum side yard setback of the south wing of the resort building is 0.3 metres;
3. 904(5) The maximum building height of the south wing of the resort building at 0.3 metres side yard setback is 9.3 metres;

Accessory Building

4. 904(4) The minimum side yard setback of the accessory building labeled as “storage shed” is 1.5 metres only for the lifespan of this building.

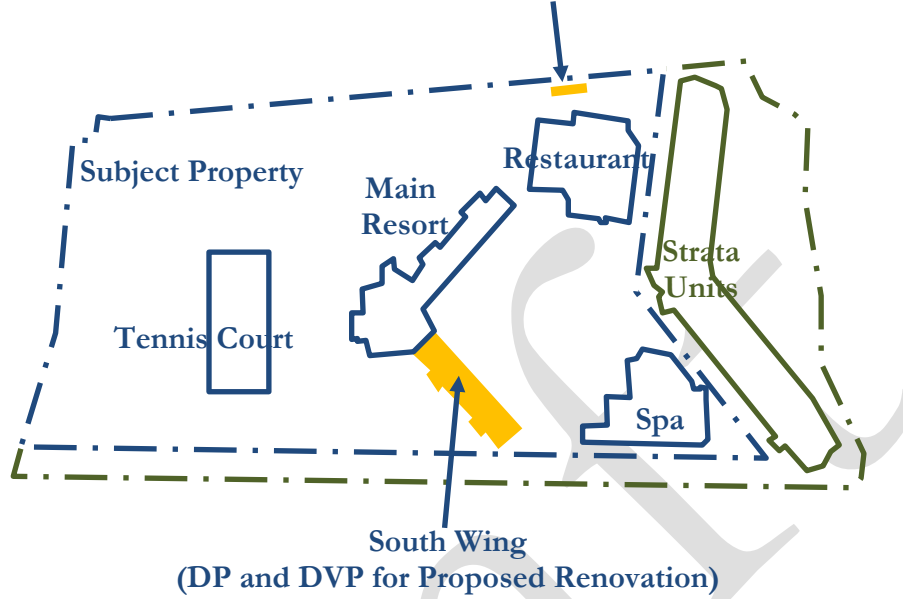
I HEREBY CERTIFY this copy to be a true and correct copy of Schedule A being the terms and conditions of Development Variance Permit File DV 4A 18.

James Warren
Corporate Legislative Officer

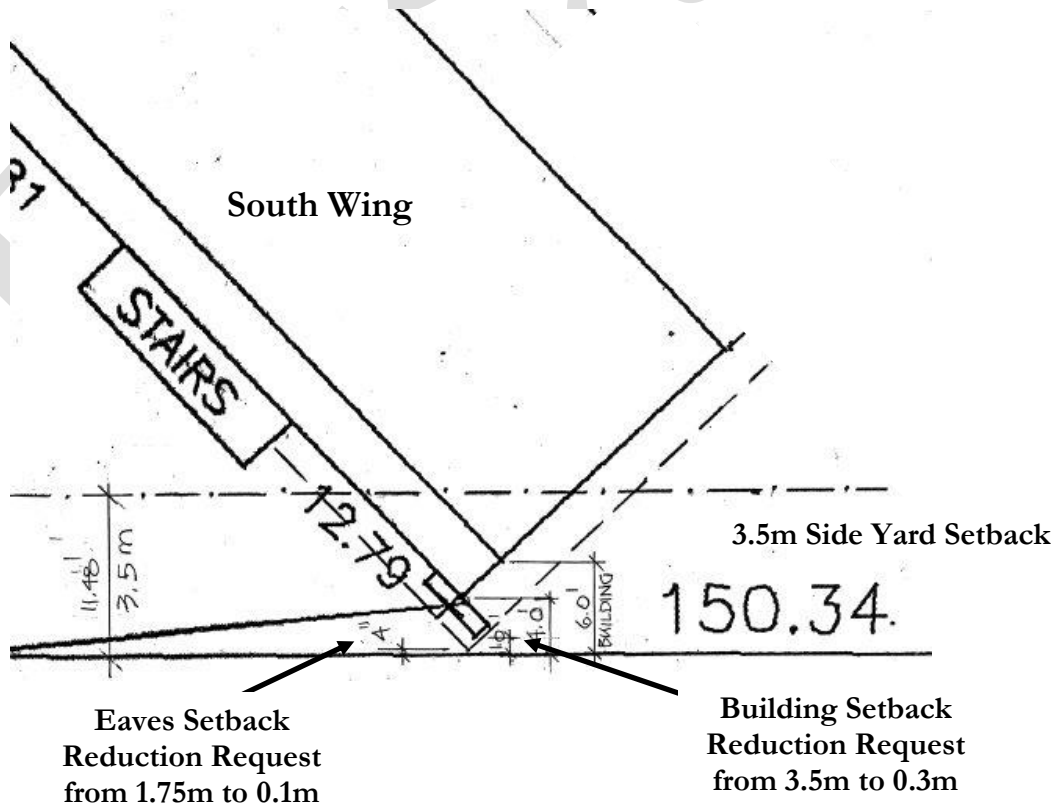
Certified on _____

Schedule B

**Accessory Building "Storage Shed"
(DVP for Side Yard Setback)**



Site Plan to Show Locations of Subject Buildings



Side Yard Setbacks Reduction Requests

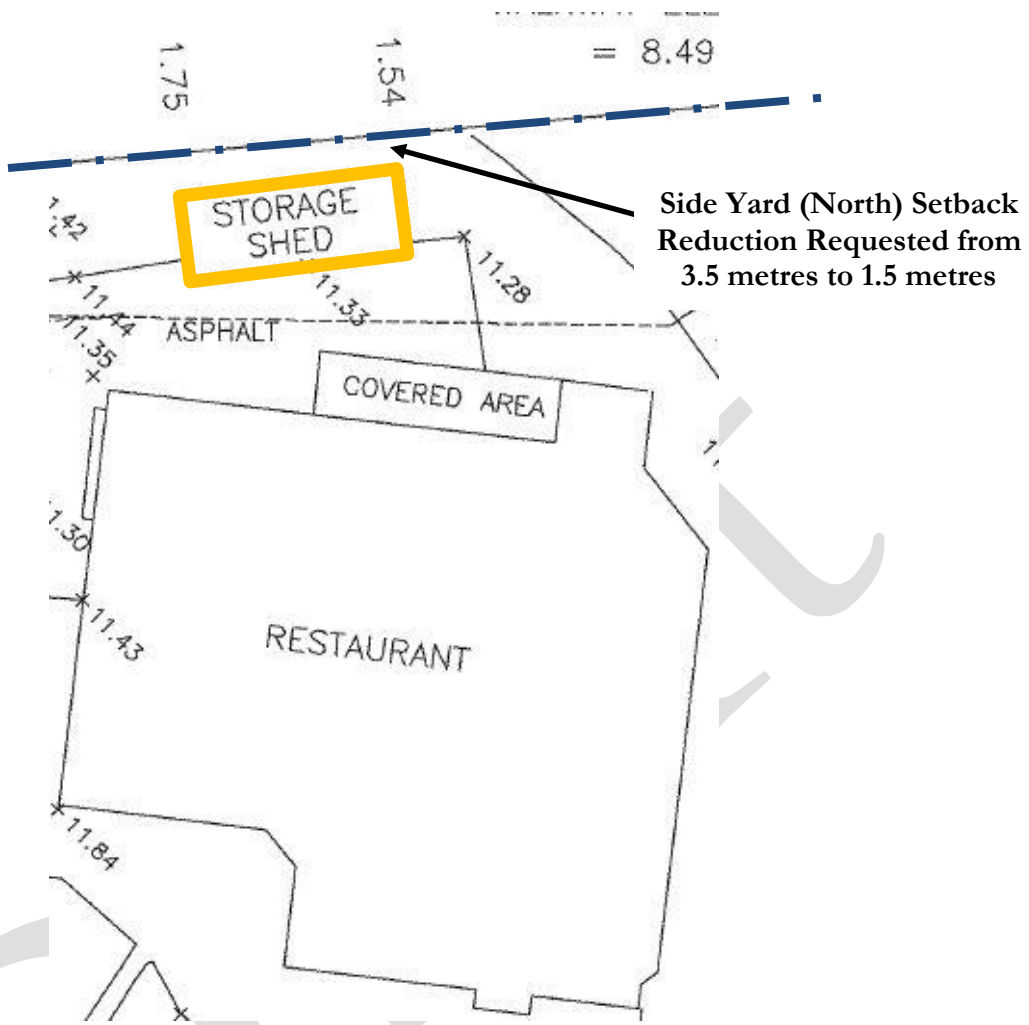


Figure 8: Side Yard (North) Setback Reduction Request for the Existing Storage Shed

DV 4A 18**TO: Kingfisher Oceanside Resort & Spa Ltd.**

1. This Development Variance Permit (DV 4A 18) is issued subject to compliance with all of the bylaws of the Comox Valley Regional District applicable thereto, except as specifically varied or supplemented by this permit.
2. This Development Variance Permit applies to and only to those lands within the Comox Valley Regional District described below:
Legal Description: Lot B, District Lot 10, Nelson District, Plan VIP66171
Parcel Identifier (PID): 023-933-607 Folio: 771 09784.705
Civic Address: 4324 & 4330 Island Highway South
3. The land described herein shall be developed strictly in accordance with the following terms and provisions of this permit:
 - i. THAT the development shall be carried out according to the plans and specifications attached hereto which form a part of this permit as the attached Schedules A and B;
 - ii. THAT all other buildings and structures must meet zoning requirements.
4. This Development Variance Permit is issued following the receipt of an appropriate Site Declaration from the property owner.
5. This Development Variance Permit (DV 4A 18) shall lapse if construction is not substantially commenced within two (2) years of the Comox Valley Regional District Board's resolution regarding issuance of the Development Variance Permit (see below). Lapsed permits cannot be renewed; therefore application for a new development permit must be made, and permit granted by the Comox Valley Regional District Board, in order to proceed.
6. This Development Variance Permit is *not* a Building Permit.

CERTIFIED as the **DEVELOPMENT VARIANCE PERMIT** issued by resolution of the board of the Comox Valley Regional District on _____.

James Warren
Corporate Legislative Officer

Certified on _____

Attachments: Schedule A – “Terms and Conditions of the DV 4A 18”
Schedule B – “Site Plans”

Schedule A

File: DV 4A 18

Applicant: Kingfisher Oceanside Resort & Spa Ltd.

Legal Description: Lot B, District Lot 10, Nelson District, Plan VIP66171

Specifications:

THAT WHEREAS pursuant to Section 904(4) of Bylaw No. 2781, being the “Comox Valley Zoning Bylaw, 2005,” the minimum side yard setback of the accessory building labeled as “storage shed” is 3.5 metres;

AND WHEREAS the applicant, Kingfisher Oceanside Resort & Spa Ltd., wishes to reduce the minimum (northerly) side yard setback of the accessory building, labeled as “storage shed,” from 3.5 metres to 1.5 metres only for the lifespan of this building (i.e., this variance does not apply to any other similar building in the future);

THEREFORE BY A RESOLUTION of the board of the Comox Valley Regional District on _____ the provisions of Bylaw No. 2781, being the “Comox Valley Zoning Bylaw, 2005,” as they apply to the above-noted property are to be varied as follows:

904(4) The minimum side yard setback of the accessory building labeled as “storage shed” is 1.5 metres only for the lifespan of this building.

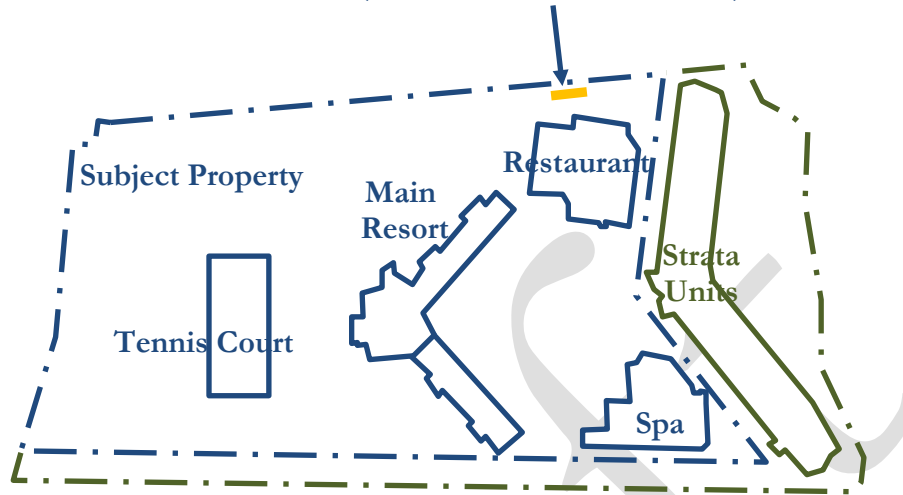
I HEREBY CERTIFY this copy to be a true and correct copy of Schedule A being the terms and conditions of Development Variance Permit File DV 4A 18.

James Warren
Corporate Legislative Officer

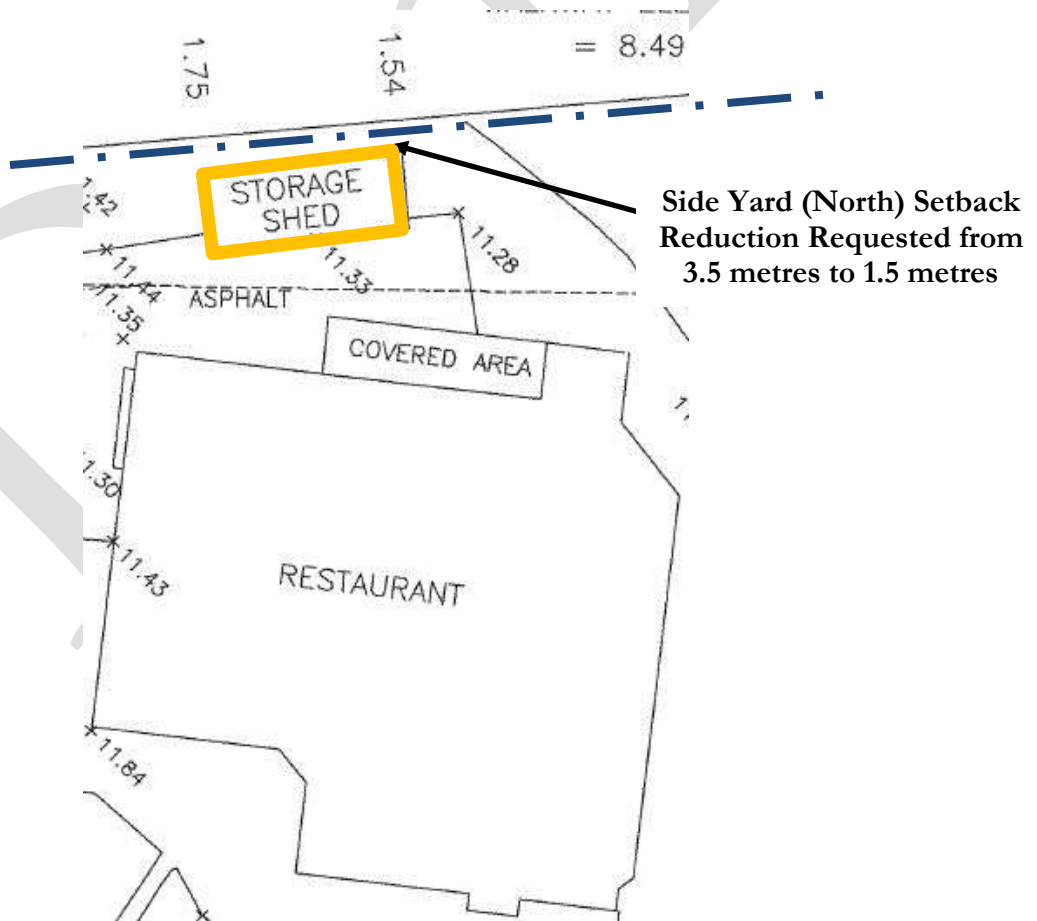
Certified on _____

Schedule B

Accessory Building "Storage Shed"
(DVP for Side Yard Setback)



Site Plan to Show Locations of Subject Buildings



Side Yard (North) Setback
Reduction Requested from
3.5 metres to 1.5 metres

Side Yard (North) Setback Reduction Request for the Existing Storage Shed